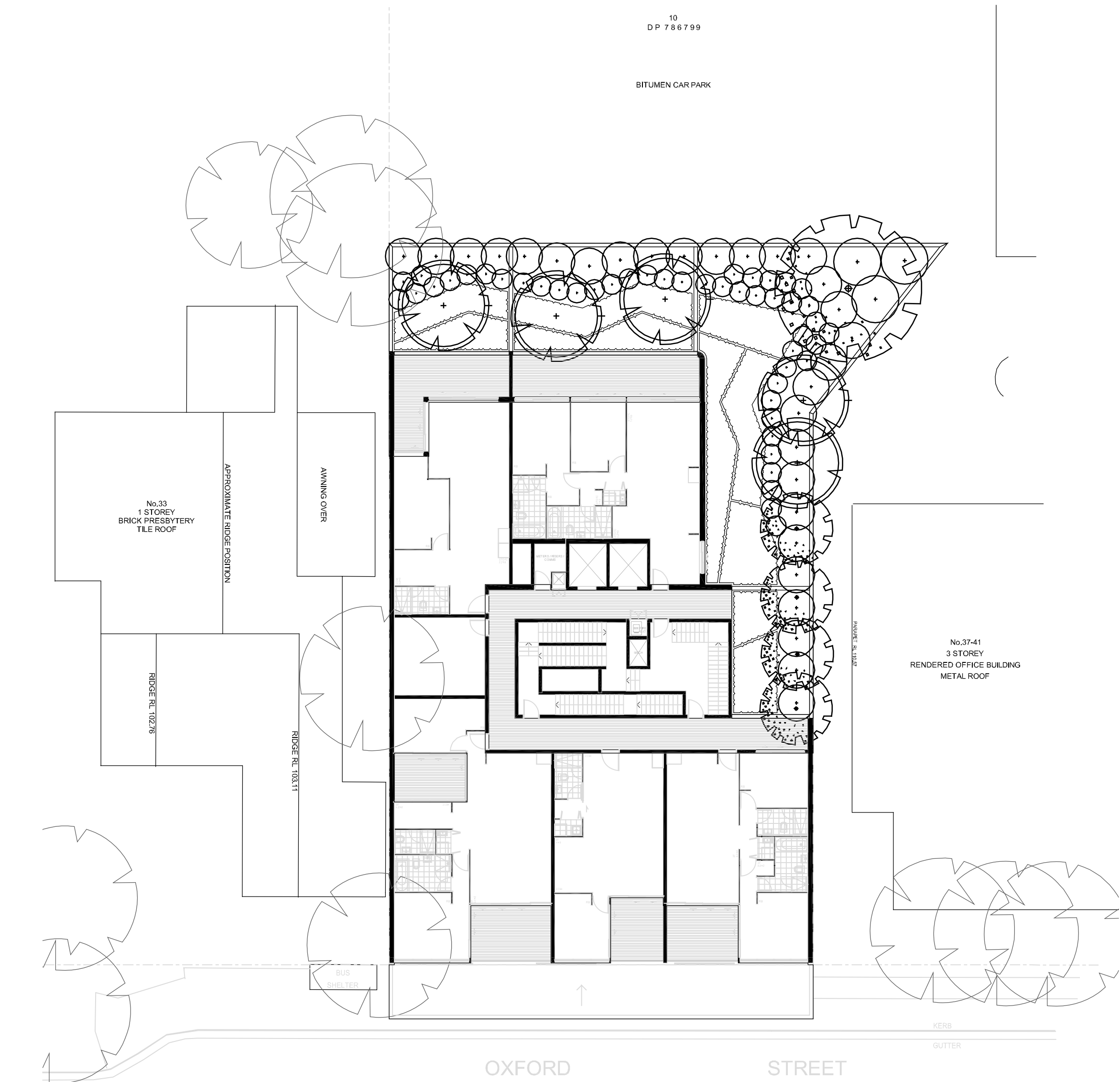


# Mixed Use Residential Development

## 35 Oxford St, Epping, NSW

DWG NO.	DRAWING TITLE	SCALE
000	COVER SHEET	N.T.S
C101	COLOUR LANDSCAPE PLAN	1:100
101	LEVEL 1 LANDSCAPE PLAN	1:100
102	LEVEL 3 LANDSCAPE PLAN	1:100
103	LEVEL 8 LANDSCAPE PLAN	1:100
201	ELEVATIONS	1:200
202	ELEVATIONS	1:200
501	LANDSCAPE DETAILS	AS SHOWN
502	INDICATIVE PLANT SCHEDULE & SPECIFICATION NOTES	AS SHOWN



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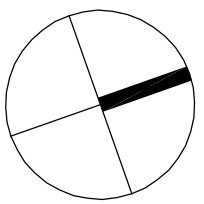
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B	DEVELOPMENT APPLICATION	NP	RS	23.09.2015
A	DEVELOPMENT APPLICATION	NT	RS	28.04.2015
Issue	Revision Description	Drawn	Check	Date

### LEGEND

Key Plan:



Client:  
Luxcon Developments No.5 Pty Ltd

Project:  
35 Oxford St, Epping

**S I T E I M A G E**

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Redfern NSW 2016  
Australia

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### DEVELOPMENT APPLICATION

Drawing Name:  
Cover Sheet

Scale:	Job Number:	Drawing Number:	Issue:
	SS15-3020	000	C





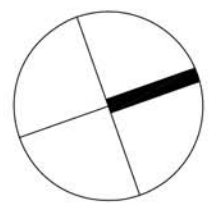
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- LEGEND**
- Boundary
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  - Existing trees to be removed (any other notes)
  - Proposed Trees (Refer plant schedule)
  - Small Shrubs and Accents (Refer plant schedule)
  - Groundcovers and Grasses (Refer plant schedule)
  - Paving (Refer Details)
  - Decking
  - Mild Steel Edge (Refer details)
  - Indicative planter wall heights

Key Plan:



Client:  
**Luxcon Developments No.5 Pty Ltd**

Project:  
**35 Oxford St, Epping**

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**DEVELOPMENT APPLICATION**

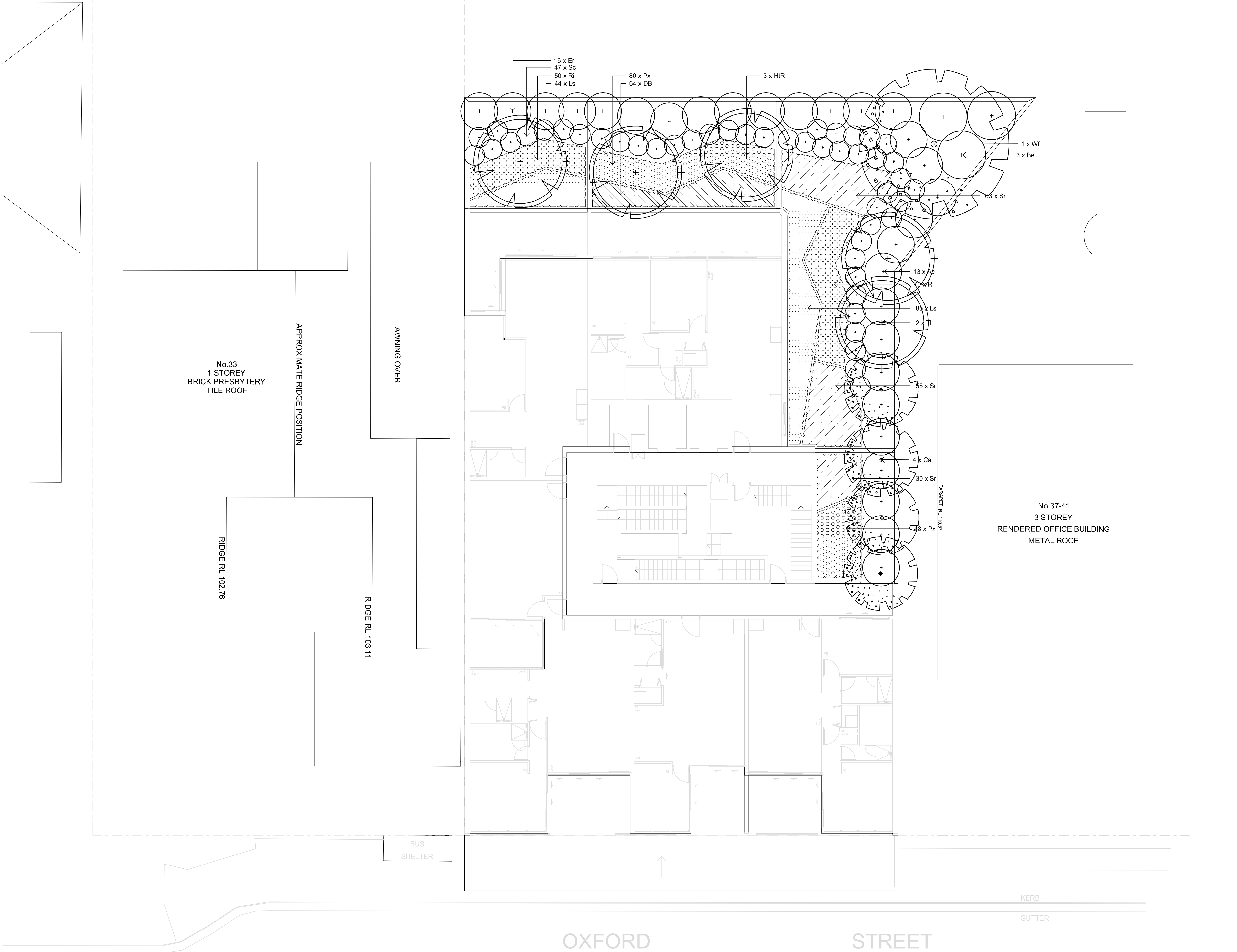
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**Landscape Plan**  
**Ground Floor**

Scale: 1:100 @ A1  
Job Number: Drawing Number: Issue:

SS15-3020 101 B

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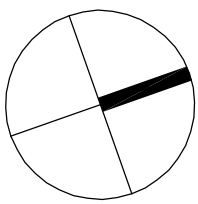
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**LEGEND**

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(any other notes)
- Existing trees to be removed  
(any other notes)
- Proposed Trees  
(Refer plant schedule)
- Small Shrubs and Accents  
(Refer plant schedule)
- Groundcovers and Grasses  
(Refer plant schedule)
- Paving  
(Refer Details)
- Decking
- Mild Steel Edge  
(Refer details)
- Indicative planter wall heights

Key Plan:



Client:  
**Luxcon Developments No.5 Pty Ltd**

Project:  
**35 Oxford St, Epping**

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**DEVELOPMENT APPLICATION**

Drawing Name:  
**Landscape Plan**

**Level 1**

Scale: 1:100 @ A1

Job Number:


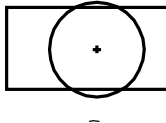

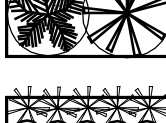
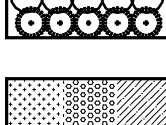
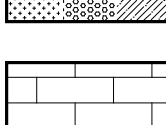
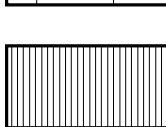
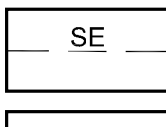
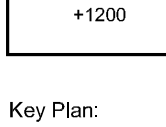

Sheet \_ of \_

Issue:

**SS15-3020**

**101 C**

**NOT FOR CONSTRUCTION**

	Boundary
	Existing Trees to be Retained (any other notes)
	Existing trees to be removed (any other notes)
	Proposed Trees (Refer plant schedule)
	Small Shrubs and Accents (Refer plant schedule)
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	Paving (Refer Details)
	Decking
	Mild Steel Edge (Refer details)
	Indicative planter wall heights

Project:  
35 Oxford St, Epping



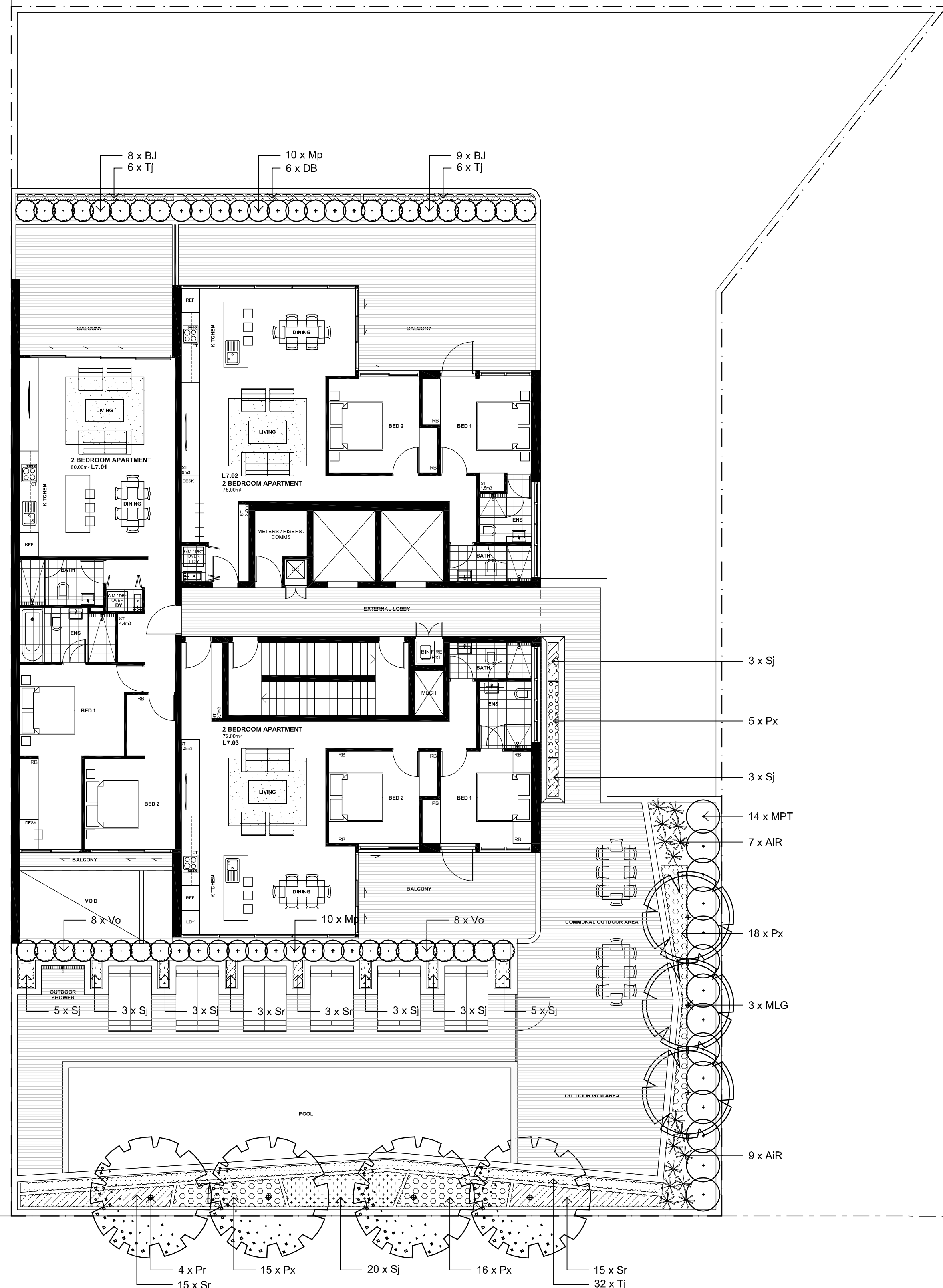
Landscape Architects

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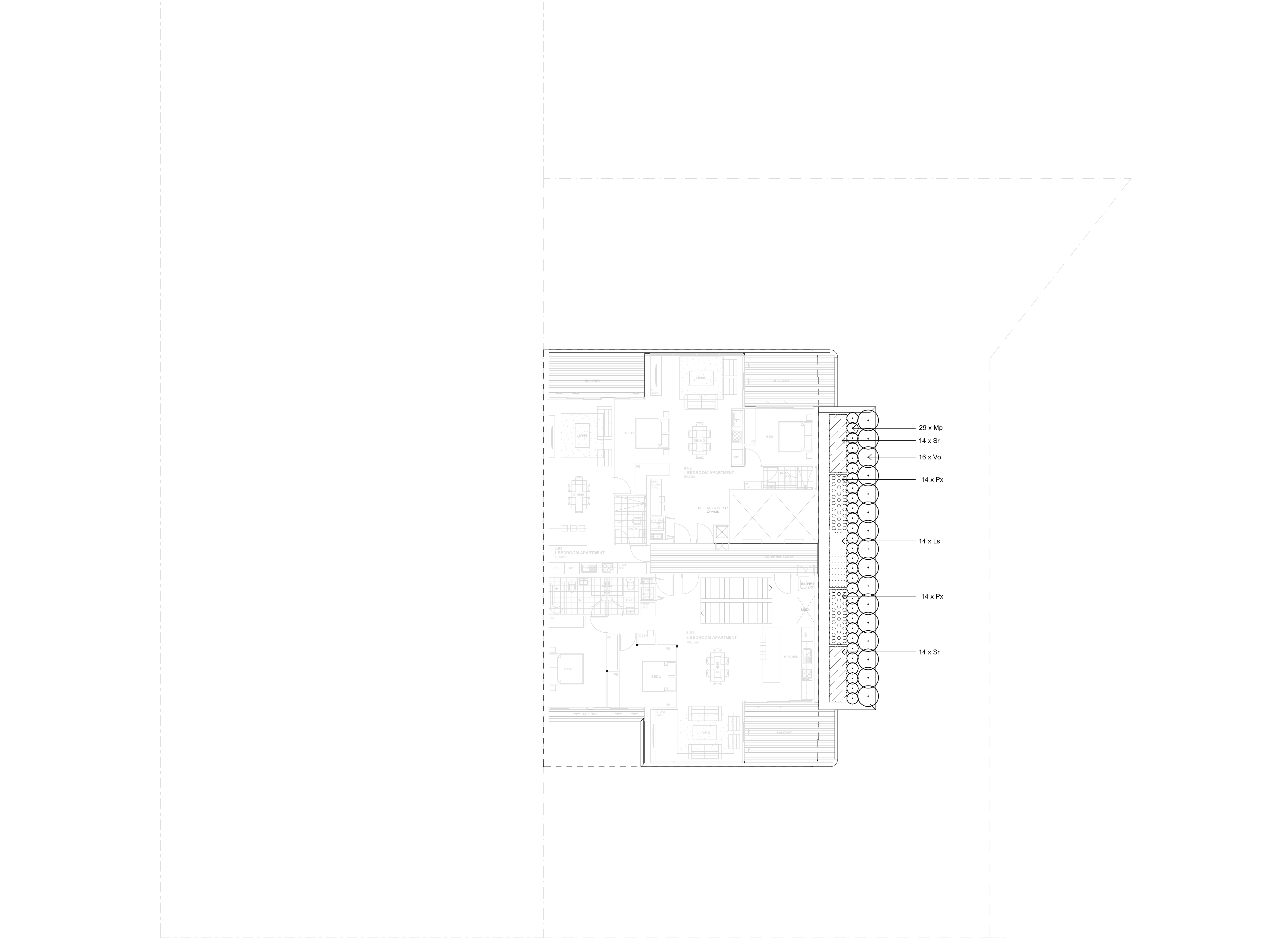
Landscape Plan

Level 3

SS15-3020 102 C







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LEGEND

Boundary

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(any other notes)

Existing trees to be removed  
(any other notes)

Proposed Trees  
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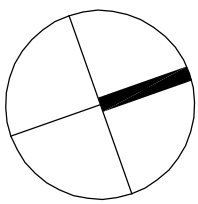
Paving  
(Refer Details)

Decking

Mild Steel Edge  
(Refer details)

Indicative planter wall heights

Key Plan:



Client:  
**Luxcon Developments No.5 Pty Ltd**

Project:  
**35 Oxford St, Epping**

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DEVELOPMENT APPLICATION

Drawing Name:  
**Landscape Plan**  
**Level 8**

Scale: 1:100 @ A1

Job Number: SS15-3020

Drawing Number: 103


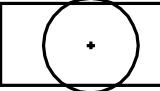




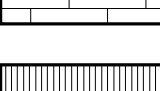
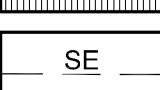
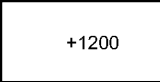
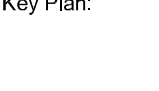
Issue: C

Sheet \_ of \_

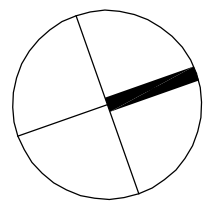
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Key Plan:



Client:  
**Luxcon Developments No.5 Pty Ltd**

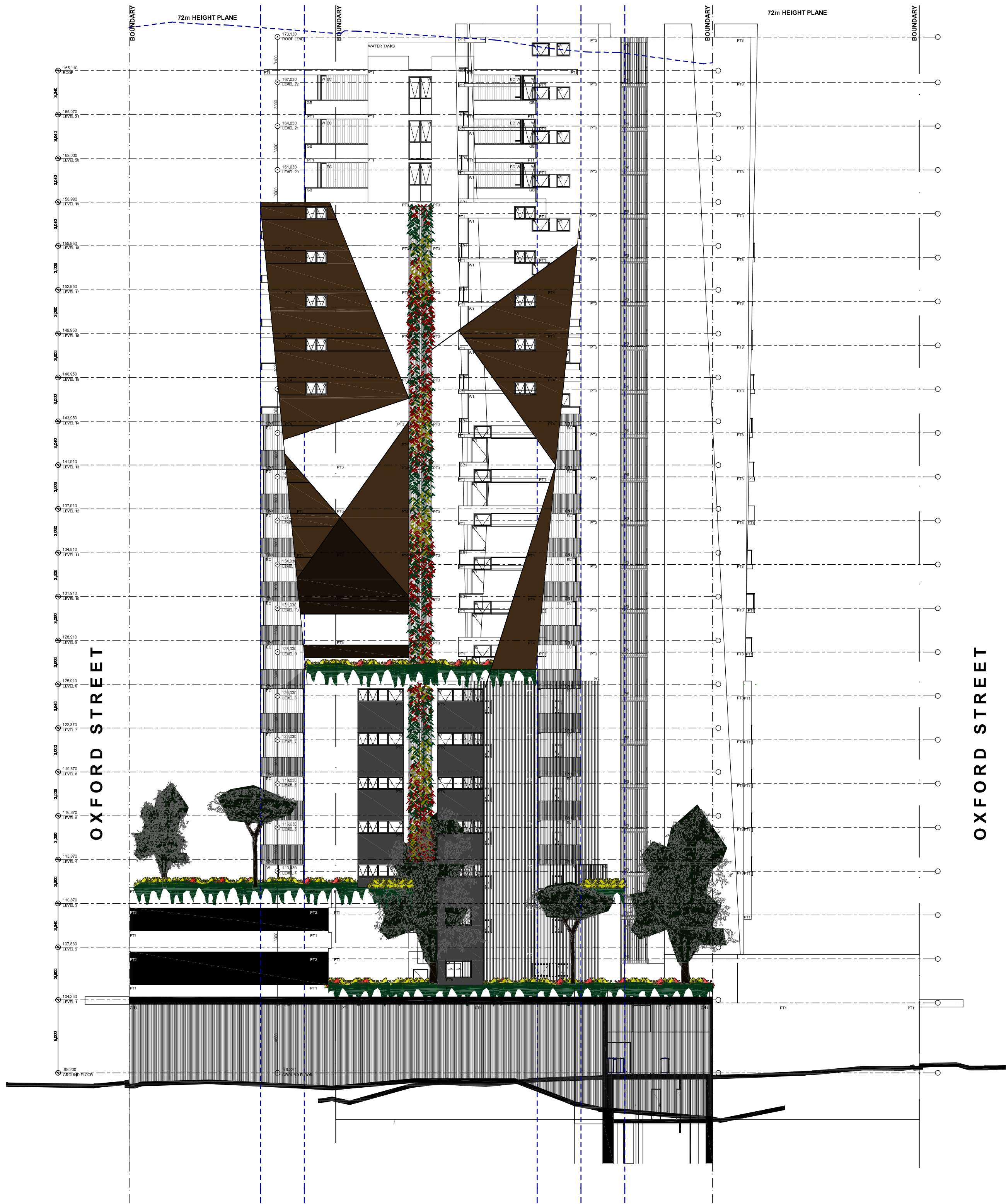
Project:  
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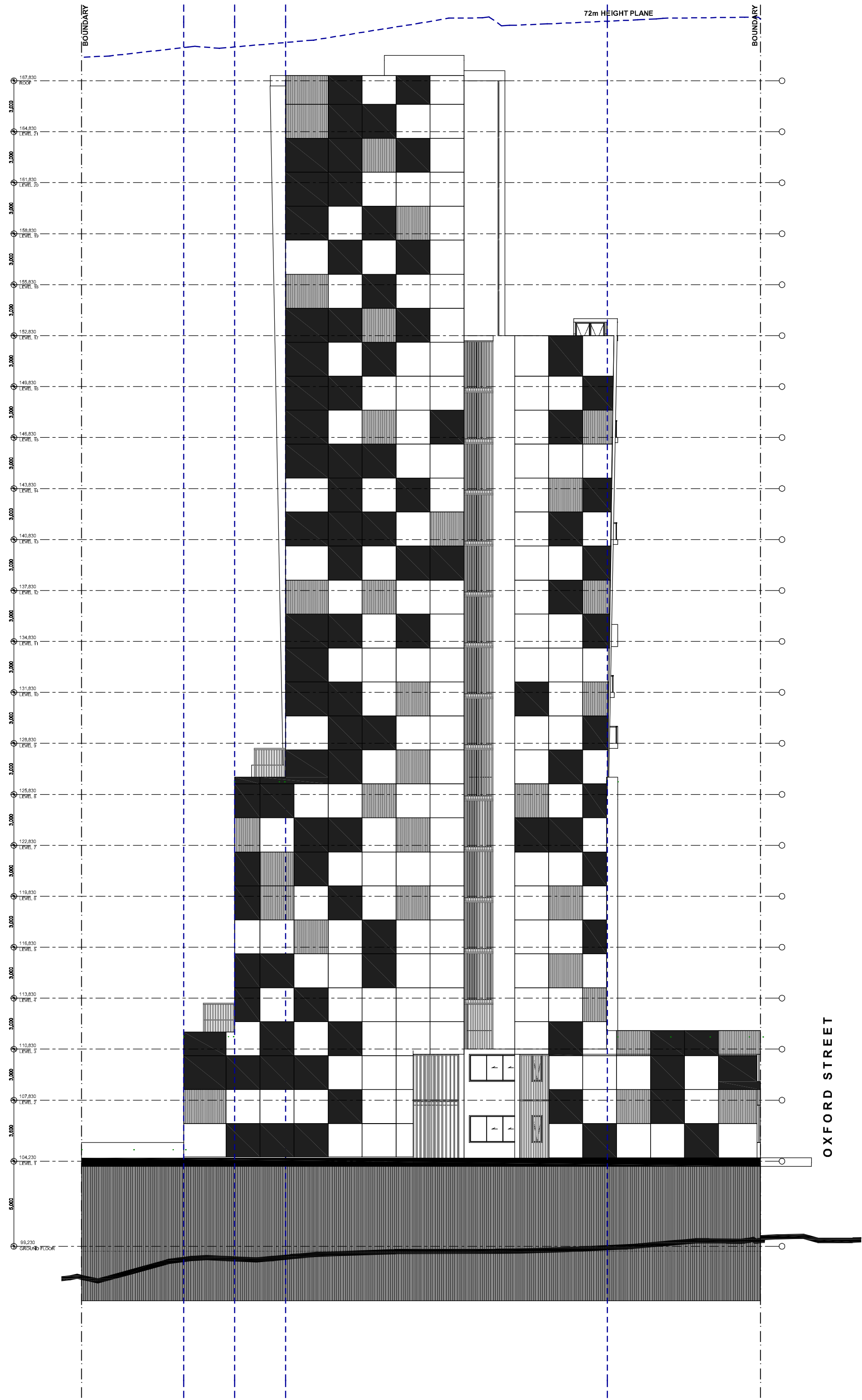
**DEVELOPMENT APPLICATION**

Drawing Name:  
**Landscape Elevations**

Scale: 1:200 @ A1  
Job Number: SS15-3020  
Drawing Number: 201  
Issue: C



North Elevation  
Scale 1:200



South Elevation  
Scale 1:200

NOT FOR CONSTRUCTION

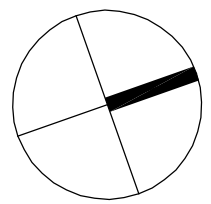


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Key Plan:



Client:  
Luxcon Developments No.5 Pty Ltd

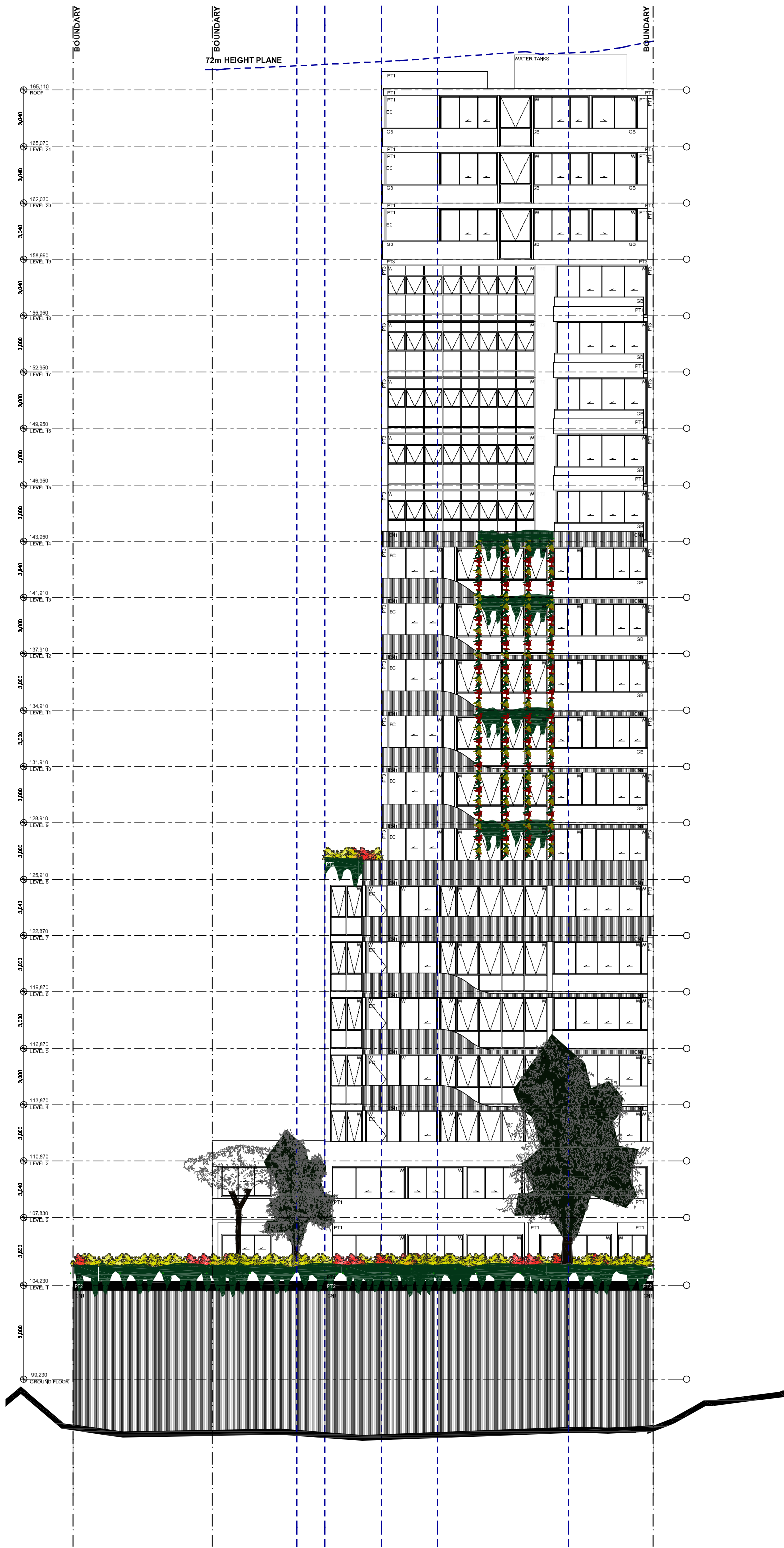
Project:  
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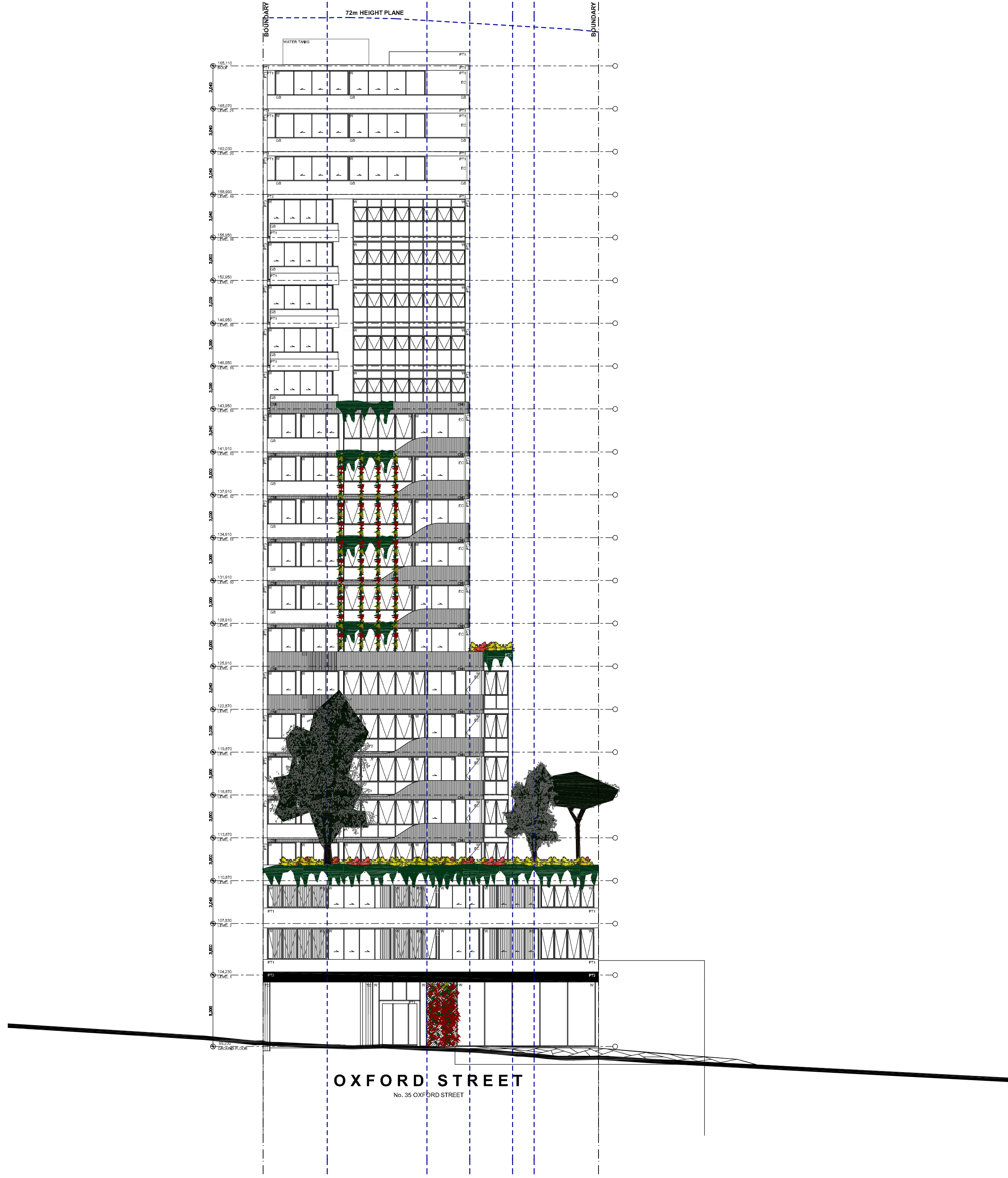
**DEVELOPMENT APPLICATION**

Drawing Name:  
**Landscape Elevations**

Scale: 1:200 @ A1  
Job Number: SS15-3020  
Drawing Number: 202  
Issue: C



West Elevation  
Scale 1:200

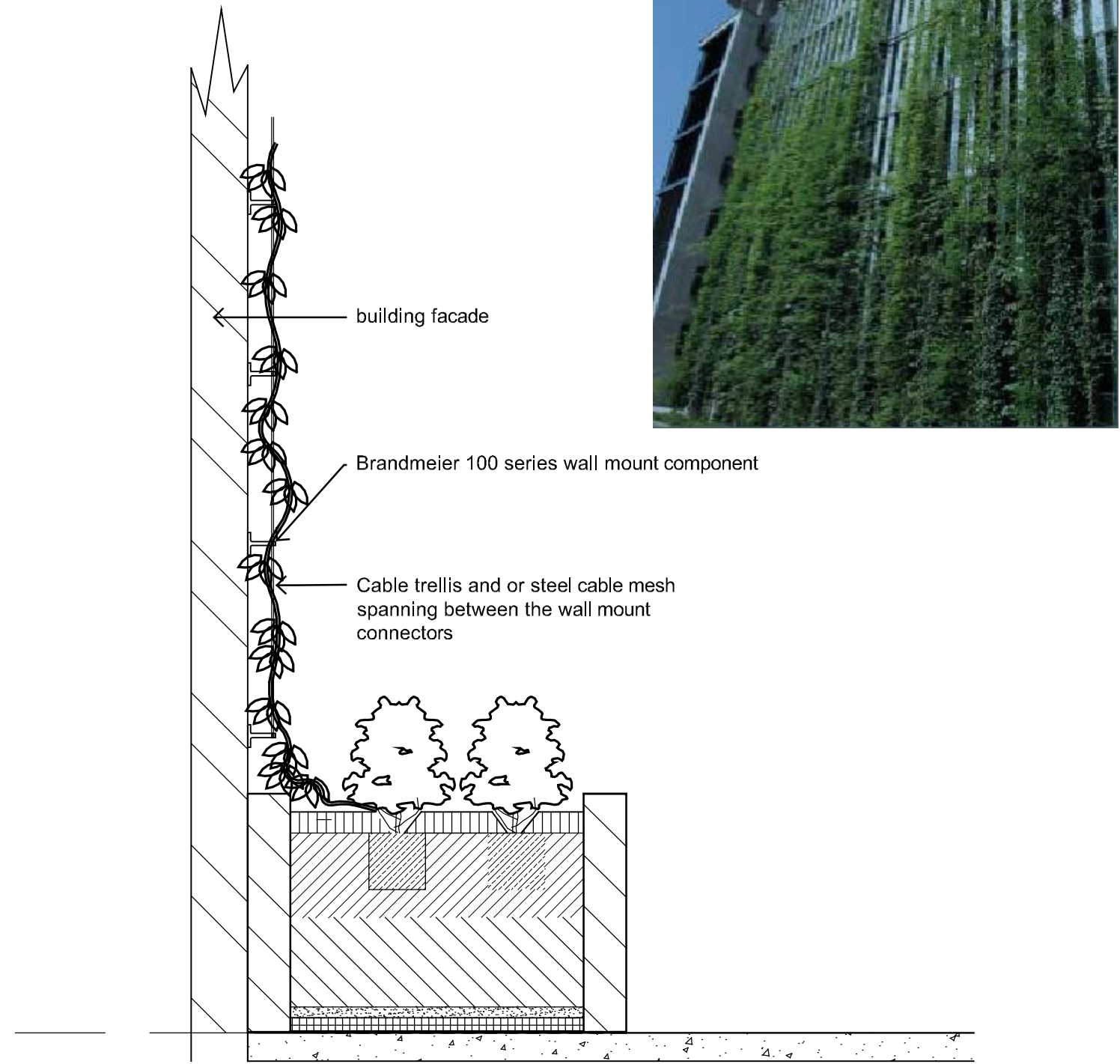


East Elevation (Oxford Street)  
Scale 1:200

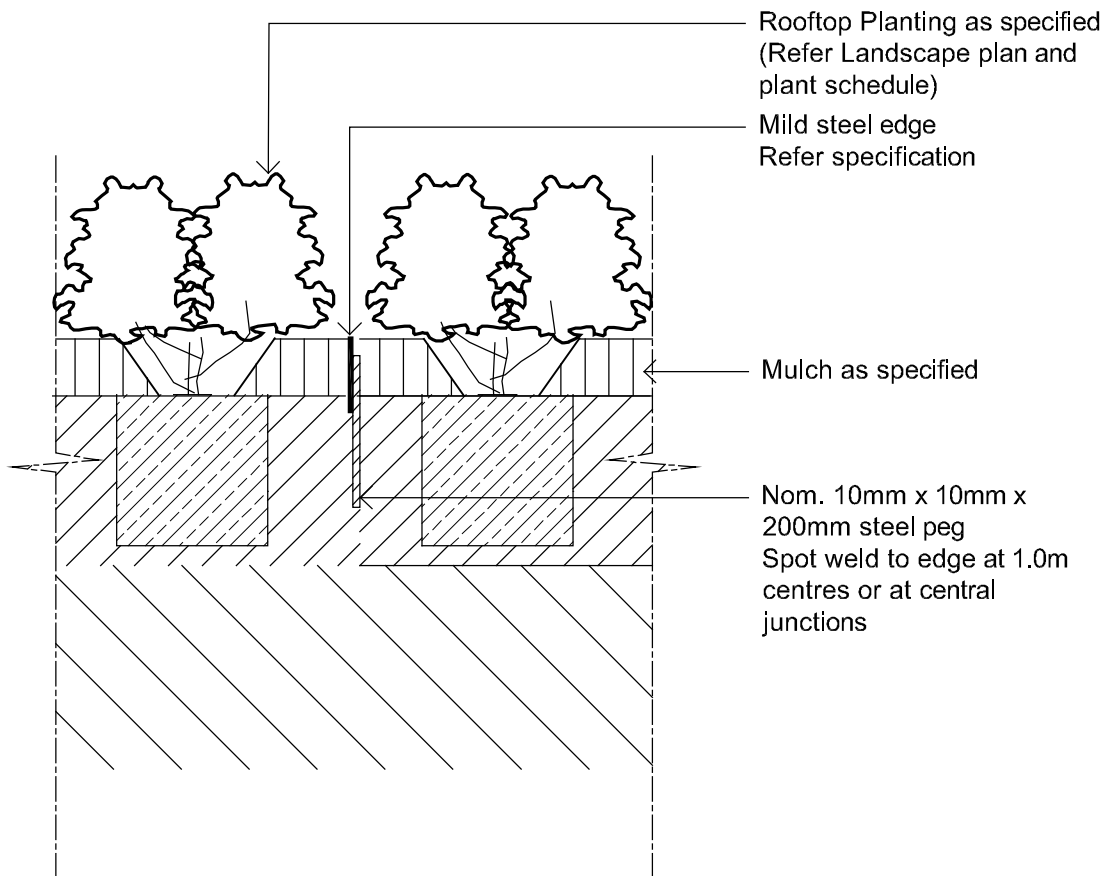
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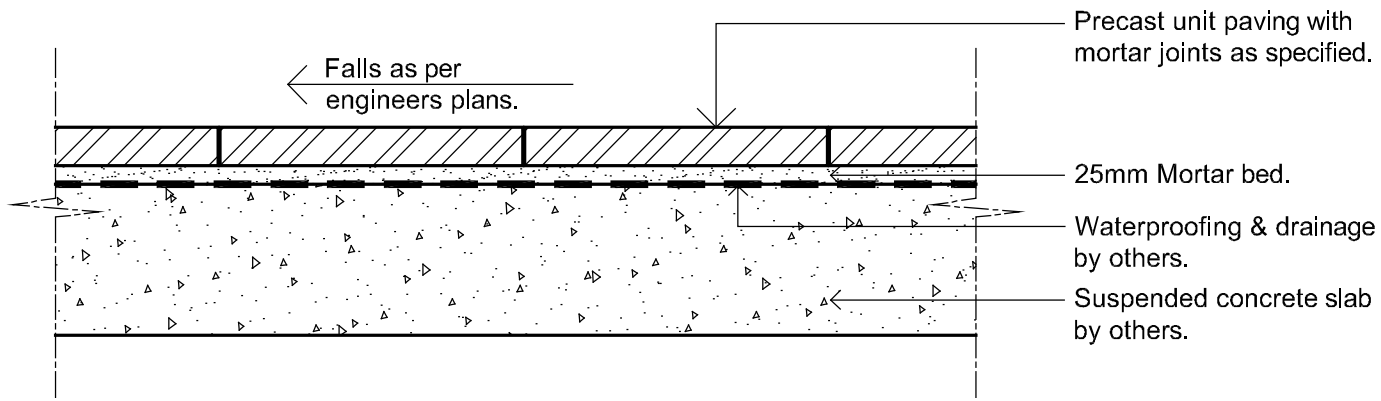
Green Wall system similar or equal to the Brandmeier steel cable trellis system (images show 100 series components) supplied by CityGreen - urban landscape solutions



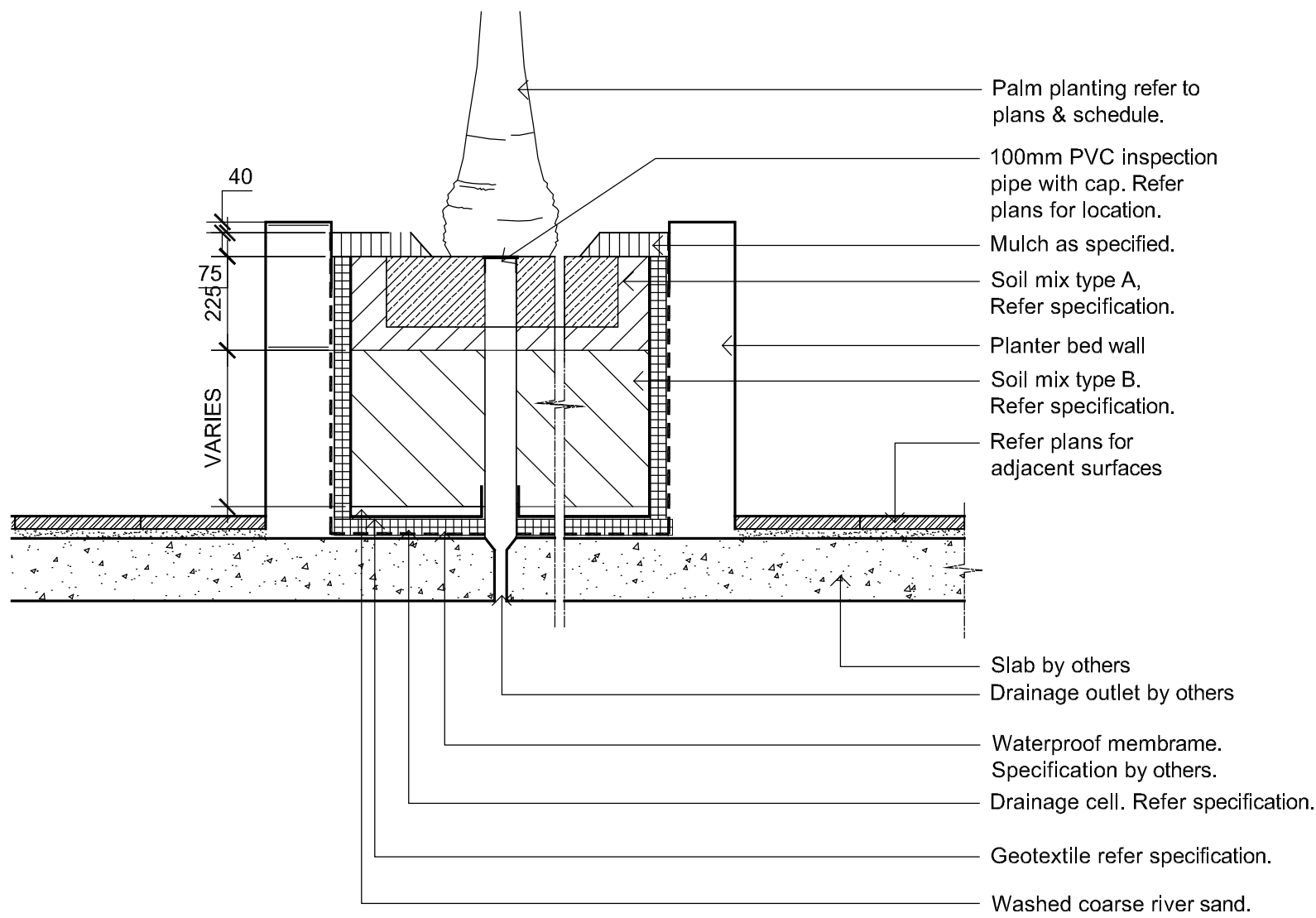
Steel and Wire Mesh Trellis  
SCALE 1:20



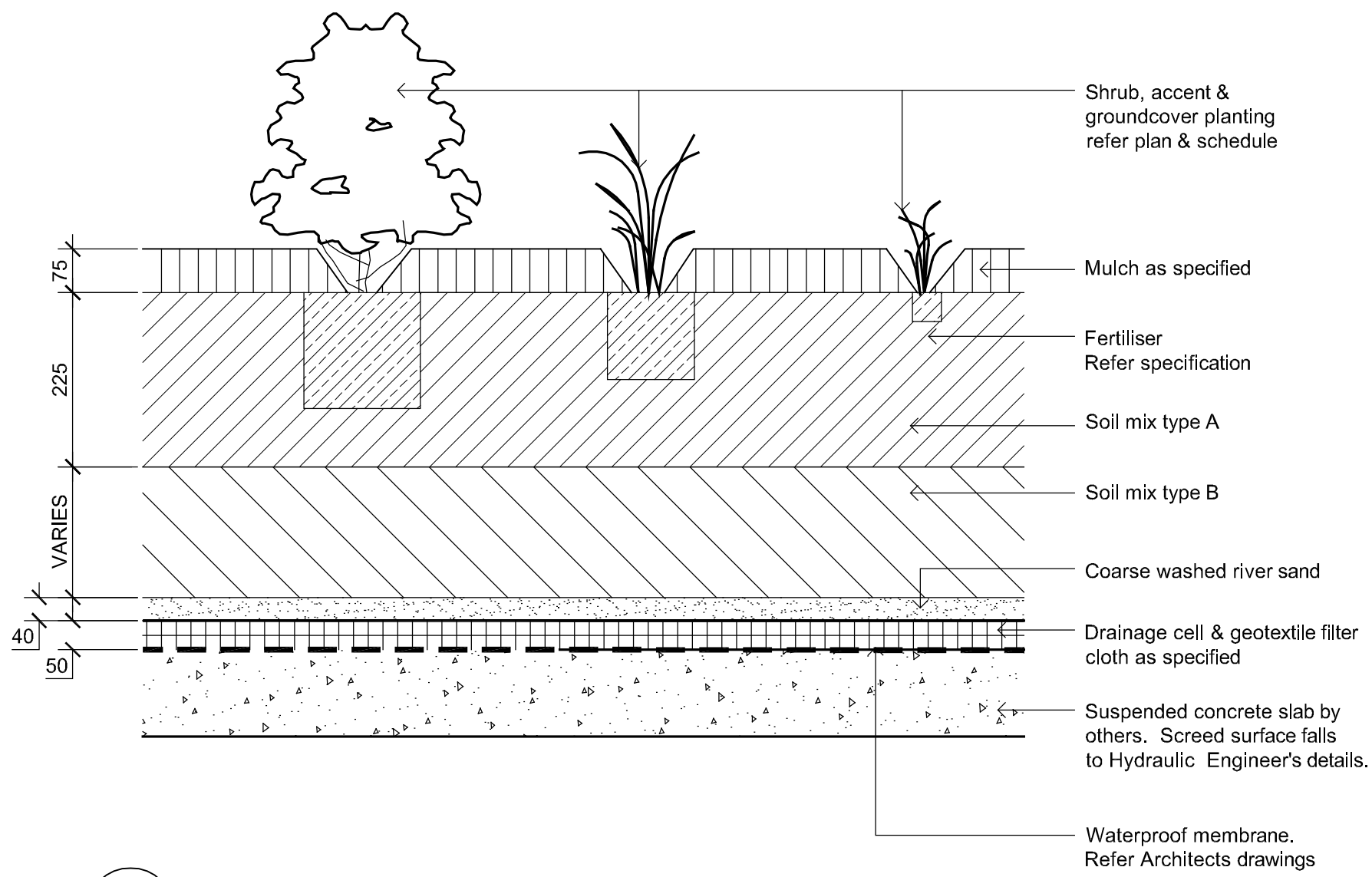
TYPICAL MILD STEEL EDGE  
SCALE 1:10



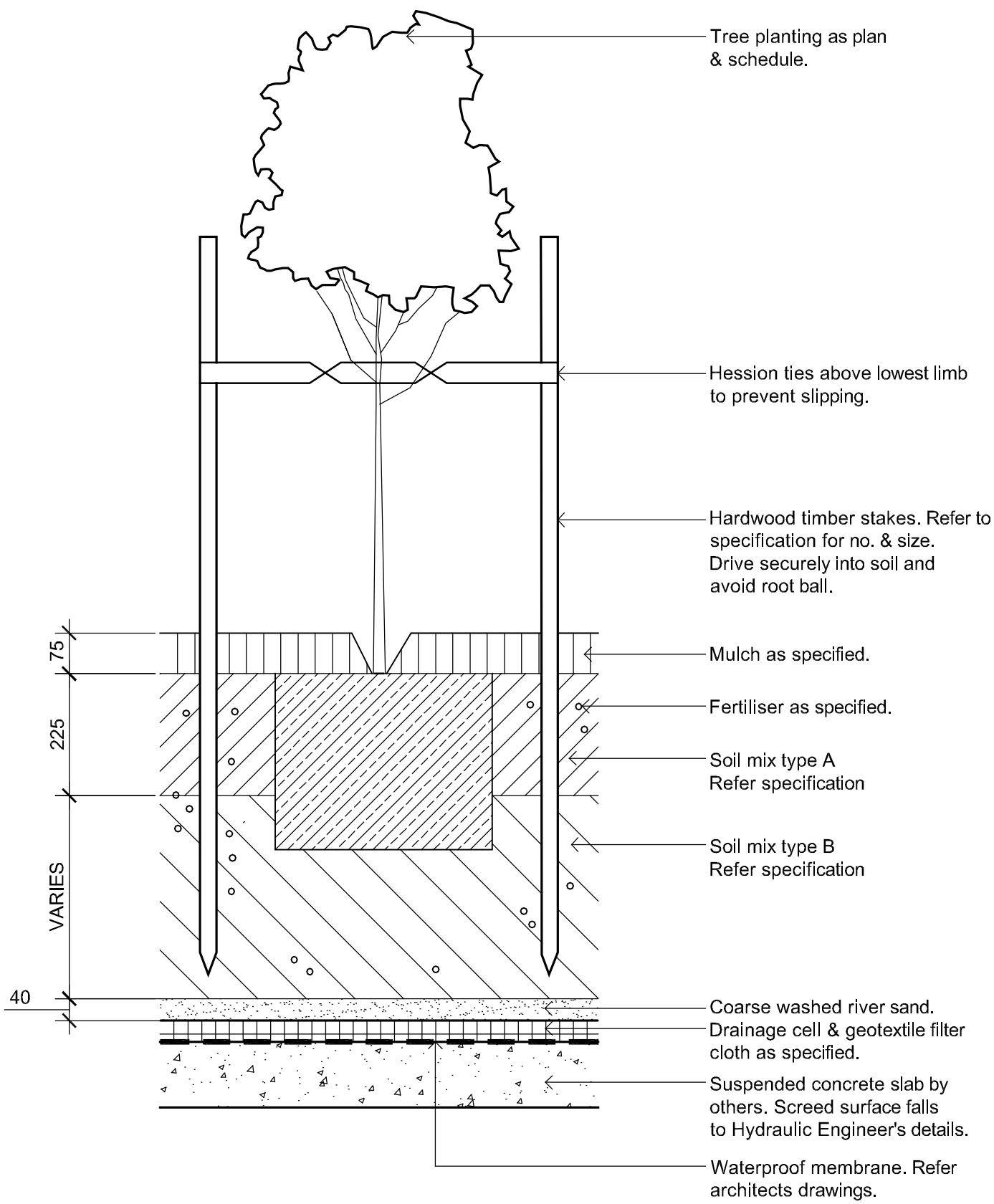
PRECAST UNIT PAVERS ON SUSPENDED SLAB  
SCALE 1:10



Typical Raised Planter Bed on Suspended Slab  
SCALE 1:20



SHRUB, ACCENT & GROUNDCOVER PLANTING ON SLAB  
SCALE 1:10



25L-75L TREE PLANTING ON SLAB  
SCALE 1:10

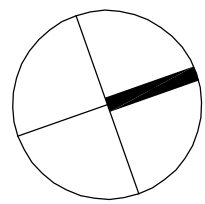
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A	DEVELOPMENT APPLICATION	NT	RS	28.04.2015
Issue	Revision Description	Drawn	Check	Date

#### LEGEND

Key Plan:



Client:  
**Luxcon Developments No.5 Pty Ltd**

Project:  
**35 Oxford St, Epping**

**SITE IMAGE**  
Level 1, 3-5 Baplist Street  
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#### DEVELOPMENT APPLICATION

Drawing Name:  
**Landscape Details**

Scale: **As Shown**  
Job Number: **SS15-3020**  
Drawing Number: **501**  
Issue: **C**

NOT FOR CONSTRUCTION



GENERALLY  
THE CONTRACTOR SHALL PLACE ORDERS FOR THE DELIVERY OF ALL MATERIALS, SUPPLIES, ETC., IMMEDIATELY AFTER SIGNING THE CONTRACT AND ENSURE THE SUPPLIERS GUARANTEE DELIVERY AT ALL TIMES TO ACCORD WITH THE CONSTRUCTION PROGRAM.

SITE PREPARATION  
ENSURE ALL PROVISIONS FOR LANDSCAPE TO BE PROVIDED BY THE BUILDER ARE COMPLETE AND ALL CONTRACTORS RUBBISH AND DEBRIS IS REMOVED;

DRAINAGE CELL AND FILTER FABRIC  
FOR ON–SLAB AREAS INSTALL AN APPROVED 'DRAINAGE CELL' PRODUCT TO COMPREHENSIVELY COVER THE BOTTOM OF ALL PLANTERS.

OVER DRAINAGE CELL TO ON–SLAB AREAS, A POLYFELT GEOTEXTILE LINING (AS SUPPLIED BY 'POLYFELT TS' OR APPROVED EQUIVALENT) IS TO BE INSTALLED TO COVER THE BOTTOM OF ALL PLANTERS, TURNED UP 300MM AND TAPED TO THE PLANTER SIDES TO ENSURE SOIL MIX DOES NOT ESCAPE INTO DRAINAGE OUTLETS/HOLES.

INSTALL MIN. 50MM COARSE RIVER SAND OVER ALL GEOTEXTILE LINING PRIOR TO INSTALLATION OF SOIL MIX.

ABORIST MANAGEMENT OF TREE PROTECTION  
A QUALIFIED AND APPROVED ABORIST IS TO BE CONTRACTED TO UNDERTAKE OR MANAGE THE INSTALLATION OF PROTECTIVE FENCING, AND TO UNDERTAKE SUCH MEASURES AS HE DEEMS APPROPRIATE TO PRESERVE THE SUBJECT TREES TO BE RETAINED. THE ARBORIST IS TO BE RETAINED FOR THE ENTIRE CONTRACT PERIOD TO UNDERTAKE ONGOING MANAGEMENT AND REVIEW OF THE TREES.

IMPORTED SOIL MIX  
IMPORTED LIGHTWEIGHT SOIL MIX FOR ON–SLAB AREAS AND POTS:  
LIGHTWEIGHT SOIL MIX SHALL BE COMPOSED OF THE FOLLOWING MATERIALS AND MIXED IN THE GIVEN PROPORTIONS TO PRODUCE A MATERIAL WITH A PH 6.0–6.5

SOIL MIX PER CUBIC METRE SHALL CONSIST OF:  
– 30% KENTHURST BLACK LOAM  
– 30% DOUBLE WASHED COARSE SAND  
– 20% AUSTRALIAN PEAT  
– 10% COMPOSTED BARK FINES  
– 10% COMPOSTED HARDWOOD DUST

FERTILISER PER CUBIC METRE SHALL CONSIST OF  
– 500GMS CALCIUM NITRATE  
– 500GMS POTASSIUM SULPHATE  
– 750GMS SUPERPHOSHATE MICRO FINE  
– 1 KG IBDU (NITROGEN SLOW RELEASE)  
– 1 KG SLOW RELEASE NUTRICOTE

PLANT MATERIAL  
ALL PLANTS SHALL BE WELL GROWN, DISEASE FREE NURSERY STOCK, AND TRUE TO SPECIES TYPE. NO SPECIES SHALL BE SUBSTITUTED WITHOUT THE APPROVAL OF THE SUPERINTENDENT. NO VARIEGATED STRAIN SHALL BE USED UNLESS NOMINATED.

ALL PLANTS SHALL BE OF THE SIZE AND QUALITY CONSISTENT WITH THE NORMAL INDUSTRY EXPECTATION FOR THE NOMINATED CONTAINER SIZE. PLANTS NOT CONSISTENT WITH THE ABOVE MAY BE REJECTED WITH REPLACEMENT STOCK SUBJECT TO THE APPROVAL OF THE SUPERINTENDENT.

ALLOW TWO AGRIFORM SLOW RELEASE PELLETS PER 5–25 LITRE PLANT AND ONE PER 150MM PLANT. ALL FERTILISER IS TO BE APPLIED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.

MULCH  
TO MASS PLANTING AREAS AND STREET TREES INSTALL 75MM THICKNESS OF GRADED PINE BARK AS SUPPLIED BY AUSTRALIAN NATIVE LANDSCAPES P/L OR APPROVED EQUIVALENT. ALL MULCH SHALL BE FREE OF VEGETATIVE REPRODUCTIVE PARTS OF WEEDS

IRRIGATION SYSTEM  
SUPPLY AN AUTOMATIC WATERING SYSTEM USING 'TORO IRRIGATION SYSTEM' OR SIMILAR APPROVED, WITH MICRO–JET SPRINKLER HEADS AND LOW DENSITY,

RUBBER MODIFIED POLYPROPYLENE RETICULATION, TO INCLUDE FILTERS, BENDS JUNCTIONS, ENDS AND OTHER ANCILLARY EQUIPMENT. THE LANDSCAPER SHALL NOMINATE HIS SOURCE OF SUPPLY FOR THE WATERING SYSTEM AND OBTAIN APPROVAL FROM THE SUPERINTENDENT BEFORE PLACING ORDERS FOR EQUIPMENT OR SUPPLY.

A SCHEMATIC PLAN OF THE PROPOSED IRRIGATION SYSTEM IS TO BE PREPARED BY THE CONTRACTOR, SHOWING SOLENOIDS, PIPE DIAMETERS, AND ALL NOZZLE AND TRICKLE ATTACHMENT TYPES (INCLUDING SPRAY/HEAD ANGLE), FOR REVIEW BY THE SUPERINTENDENT PRIOR TO INSTALLATION

THE CONTRACTOR IS TO LIASE WITH THE HYDRAULIC ENGINEER AND COUNCIL AS NECESSARY, TO ENSURE THE THE IRRIGATION SYSTEM CONFORMS WITH ALL THE COUNCIL AND WATER BOARD CODES AND REQUIREMENTS.

PROVIDE AN AUTOMATIC CONTROLLER THAT PROVIDES FOR TWO WEEK SCHEDULING AND HOURLY MULTI–CYCLE OPERATION. THE CONTROLLER SHALL MANUAL OVERRIDE. PROGRAMMING SHALL BE UNDERTAKEN BY THE CONTRACTOR WHO SHALL ADVISE ON THE OPERATION OF THE SYSTEM.

PROVISION OF SECURE HOUSING FOR THE AUTOMATIC IRRIGATION CONTROLLER TO BE LOCATED IN ASSOCIATION WITH THE LANDSCAPE CONTRACTOR AND LOCATION CONFIRMED BY THE SUPERINTENDENT. WIRING TO CONNECT REMOTE SOLENOID LOCATIONS IS TO BE PROVIDED. THE CONTROLLER SHALL BE LOCATED IN A DRY PLACE, PROTECTED FROM THE WEATHER, AND ALL CABLE CONNECTIONS SHALL BE MADE WITH WATERPROOF CONNECTORS.

WATER SUPPLY POINTS TO BE SUPPLIED BY BUILDER.

IT SHALL BE THE CONTRACTOR’S RESPONSIBILITY TO ENSURE AND GUARANTEE SATISFACTORY OPERATION OF THE IRRIGATION SYSTEM.

AFTER THE SYSTEM HAS BEEN INSTALLED TO THE SATISFACTION OF THE SUPERINTENDENT, THE INSTALLATION SHALL BE TESTED UNDER KNOWN WORKING CONDITIONS. ACCEPTANCE OF THE INSTALLED PLANT AND EQUIPMENT SHALL BE SUBJECT TO THESE BEING SATISFACTORY.

MAINTENANCE  
THE CONTRACTOR SHALL MAINTAIN THE CONTRACT AREAS BY THE IMPLEMENTATION OF INDUSTRY ACCEPTED HORTICULTURAL PRACTICES, AS WELL AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE WORKS UNDER NORMAL USE.

THE CONTRACTOR SHALL MAINTAIN THE WORKS AND MAKE GOOD ALL THE DEFECTS.

LANDSCAPE MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
WATERING, ADJUSTMENT OF THE IRRIGATION SYSTEM, RUBBISH REMOVAL, REPLACING FAILED PLANTS, MAINTAINING MULCH, PRUNING, INSECT AND DISEASE CONTROL, AND CLEANING OF THE SURROUNDING AREA.

SS15 - 3020 35 Oxford St, Epping					
Plant Schedule					
Symbol	Botanic Name	Common Name	Mature Size (h x w) (m)	Pot size	Spacings
Trees					
Be	<i>Banksia ericifolia</i>	Heath Leaved Banksia	7 x 5	75L	As shown
Ca	<i>Cupaniopsis anacardioides</i>	Tuckeroo	7 x 5	75L	As shown
Er	<i>Eleocarpus reticulatus</i>	Blueberry Ash	12 x 55	75L	As shown
HtR	<i>Hibiscus tiliaceus</i> 'Rubra'	Cotton Tree	7 x 5	75L	As Shown
Pr	<i>Plumeria rubra</i>	Frangipani	8 x 5	75L	As shown
TL	<i>Tristaniopsis launna</i> 'Luscious'	Water Gum	12 x 55	75L	As shown
Wf	<i>Waterhousia floribunda</i>	Weeping Lily Pilly	15 x 8	100L	As shown
Shrubs and Accents					
AiR	<i>Alcantarea imperialis</i> 'Rubra'	Imperial Bromeliad	1.5 x 1.2	300mm	As Shown
As	<i>Acmena smithii</i> var. <i>inor</i>	Dwarf Lily Pilly	5 x 3	300mm	As Shown
BJ	<i>Buxus microphylla</i> var. <i>japonica</i>	Japanese Box	2 x 1	300mm	As Shown
Mp	<i>Muraya paniculata</i>	Muraya	2 x 1.5	300mm	As Shown
MpT	<i>Metrosideros villosa</i> 'Tahiti'	Tahiti Christmas Bush	2 x 1.5	300mm	As Shown
Sc	<i>Syzygium cascade</i>	Cascade Lily Pilly	3 x 2	300mm	As Shown
Sj	<i>Strelitzia parvifolia</i> var. <i>junceae</i>	Rush Strelitzia	2 x 1	300mm	As Shown
Sr	<i>Strelitzia reginae</i>	Bird of paradise	1x1	300mm	As Shown
Px	<i>Philodendron</i> 'Xanadu'	Xanadu	1.5 x 2	300mm	As Shown
Vo	<i>Vibumum odoratissimum</i>	Sweet Vibumum	4 x 3	300mm	As Shown
Groundcovers and Grasses					
DB	<i>Dianella caerulea</i> 'Breeze'	Blue Flax Lily	.3 x .3	150mm	5/m <sup>2</sup>
Ls	<i>Liriope spicata</i>	Creeping Lilyturf	0.5 x 0.5	150mm	5/m <sup>2</sup>
Ri	<i>Rhaphiolepis indica</i> 'Oriental Pearl'	Rhaphiolepis Oriental Pearl	0.8 x 0.8	150mm	5/m <sup>2</sup>
Tj	<i>Trachleospmmum jasmonoides</i>	Star Jasmine	0.4 x 1	150mm	5/m <sup>2</sup>

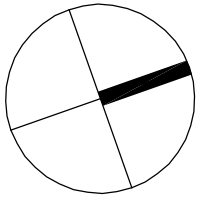
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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

B	DEVELOPMENT APPLICATION	NP	RS	23.09.2015
A	DEVELOPMENT APPLICATION	NT	RS	28.04.2015
Issue	Revision Description	Drawn	Check	Date

LEGEND

Key Plan:



Client:  
Luxcon Developments No.5 Pty Ltd

Project:  
35 Oxford St, Epping

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Landscape Architects

DEVELOPMENT APPLICATION

Drawing Name:  
Indicative Plant Schedule  
& Specification Notes

Scale: as shown @ A1  
Job Number:  
Drawing Number:  
Issue:

SS15-3020

Sheet \_ of \_

502 C

NOT FOR CONSTRUCTION